

APPENDIX C.24

CASE 10-T-0139

SITE PLANS AND CONSTRUCTION DRAWINGS

ZONING PACKAGE

ASTORIA HVDC CONVERTER STATION

SEGMENT 22

ASTORIA HVDC CONVERTER STATION

CONVERTER AND SERVICE BUILDING ZONING PACKAGE

SCOPE OF WORK

THE ZONING SCOPE FOR THE ASTORIA CONVERTER STATION INCLUDES THE AREAS BELOW:

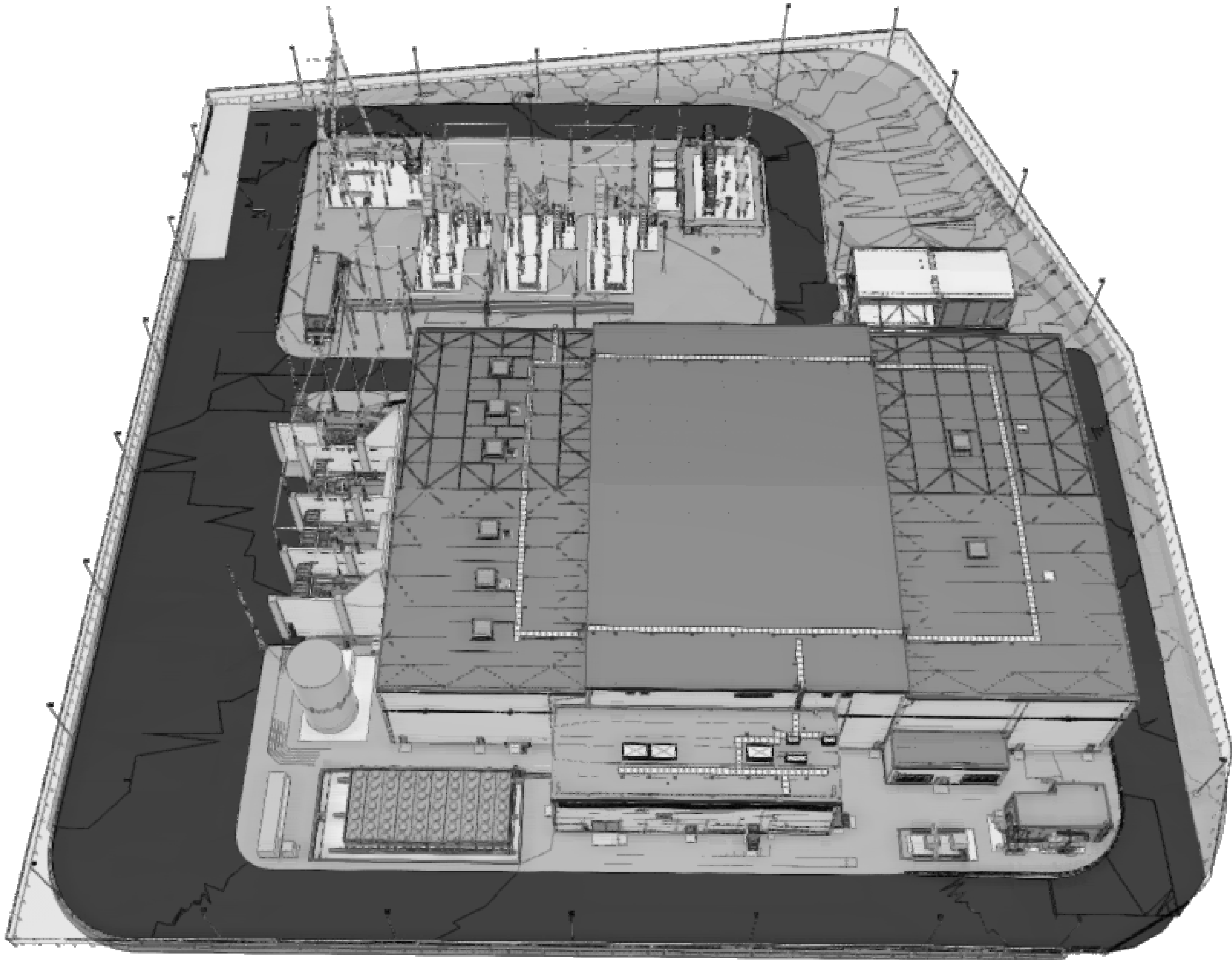
1. CONVERTER BUILDING
2. SERVICE BUILDING
3. HVAC ROOM

FLOOD ZONE DESIGN CERTIFICATION:

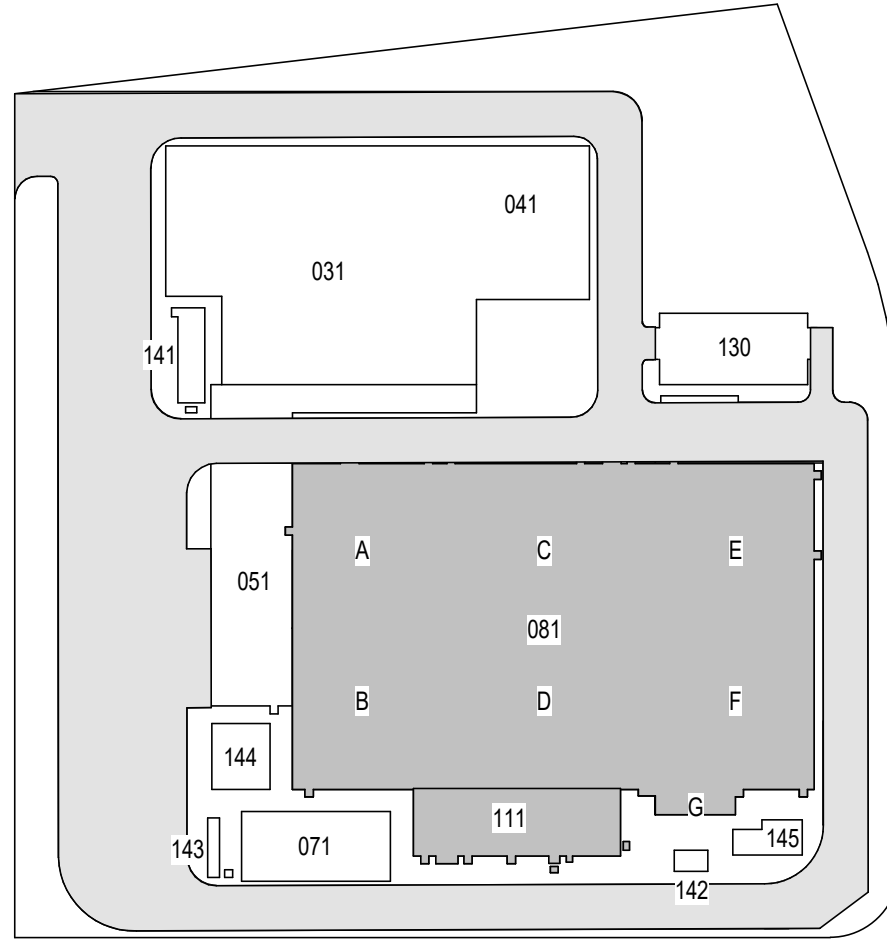
THE EXISTING PROPERTY IS IN THE SPECIAL FLOOD HAZARD AREA (SFHA), ZONE AE PER EFFECTIVE 2015 FLOOD INSURANCE RATE MAP(FIRM). THIS IS TO CONFIRM THAT THE PROPOSED INSTALLATION IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN APPENDIX Q OF THE NYC BUILDING CODE.

NYC ENERGY CODE COMPLIANCE:

STATEMENT: TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE NEW YORK CITY ENERGY CONSERVATION CODE. PROPOSED WORK MEETS THE GUIDELINES AND INSTRUCTIONS OUTLINED IN THE 2020 NYC ECC CHAPTER 4.



ISSUED FOR PERMIT



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CONFIDENTIAL
THESE DRAWINGS ARE CONFIDENTIAL IN NATURE. ANY MISUSE OR UNAUTHORIZED DISTRIBUTION OF THE DRAWINGS CONTAINED HEREIN WILL BE A VIOLATION OF THIS CONFIDENTIALITY REQUIREMENT AND SUBJECT THE VIOLATOR TO LIABILITY. REVIEW OF THESE MATERIALS BY RECEPTOR SHALL CONSTITUTE ACCEPTANCE OF THESE TERMS AND THE TERMS OF ANY UNDERLYING CONFIDENTIALITY AGREEMENT WE MAY HAVE. EXCLUDED IN OBTAINING THIS INFORMATION FROM A THIRD PARTY. IF THE RECIPIENT IS NOT IN AGREEMENT WITH THE OBLIGATION OF CONFIDENTIALITY THEN THE DRAWINGS SHALL BE RETURNED TO THE ORIGINATOR.

REV	DESCRIPTION	DRW BY	CHK BY	DATE
B	FINAL SUBMISSION	RAC	ZH	12/12/2022
A	INTERIM SUBMISSION	RAC	ZH	09/13/2022

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PROJECT
CHPE
Champlain Hudson
Power Express

**Astoria HVDC
Converter Station**
31-45 20th Avenue, Astoria, Queens NY 11105
Block #850 - Lot #310 - BIN #4624437

COVER SHEET

DATE 12/12/22
PROJECT NO 105121
DRAWING BY Author
CHECKED BY Designer
DRAWING NO
T-002.00
CADD FILE NO
Astoria-HVDC-CHPE
Astoria-CHPE-111-22-M3-A-001.rvt

BUILDING DATA - CONVERTER BUILDING & SERVICE BUILDING

PROJECT TITLE:	CHPE ASTORIA HVDC CONVERTER STATION
ADDRESS:	31-45 20TH AVENUE
BOROUGH:	QUEENS
STORIES:	2 STORIES ABOVE GRADE, 0 STORIES BELOW GRADE
CONSTRUCTION CLASS:	IIB
OCCUPANCY GROUP:	F-1 (MODERATE HAZARD) (ELECTRICAL GENERATION PLANT)
HEIGHT LIMITATIONS:	NONE (BC 2002)
AREA LIMITATIONS:	NONE (BC 2002)
BUILDING HEIGHT:	69'-0"
SCOPE OF PROJECT:	CONSTRUCTION OF A NEW ELECTRICAL CONVERTER STATION TO CONVERT HIGH VOLTAGE ELECTRICITY FROM DC TO AC, CONSISTING OF A ONE-STORY CONVERTER BUILDING ATTACHED TO A 2-STORY SERVICE BUILDING

ZONING INFORMATION - CONVERTER & SERVICE BUILDING

BLOCK:	850
LOT:	310
LOT AREA:	341,093 SF
ZONING DISTRICT:	M3-1
ZONING MAP:	6D
SEISMIC ZONE:	2A
OCCUPANCY CLASSIFICATION:	F-1
USE GROUP:	18B

BUILDING HEIGHT & AREA LIMITATIONS

CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA LIMITATIONS. 503	
SPECIAL INDUSTRIAL OCCUPANCIES. 503.1.1.	
BUILDINGS AND STRUCTURES OF TYPE II AND II CONSTRUCTION DESIGNED TO HOUSE SPECIAL INDUSTRIAL PROCESSES THAT REQUIRE LARGE AREAS AND UNUSUAL BUILDING HEIGHTS TO ACCOMODATE CRANEWAYS OR SPECIAL MACHINERY AND EQUIPMENT, INCLUDING AMONG OTHERS...THE PRODUCTION AND DISTRIBUTION OF ELECTRIC, GAS OR STEAM POWER, SHALL BE EXEMPT FROM THE BUILDING HEIGHT, NUMBER OF STORIES AND BUILDING AREA LIMITATIONS SPECIED IN SECTIONS 504 AND 506.	
MEZZANINES WITHIN SUCH BUILDINGS OR STRUCTURES SHALL COMPLY WITH SECTION 505.2. DOCUMENTS AND PLANS DESCRIBING THE SPECIAL INDUSTRIAL PROCESSES SHALL BE SUBMITTED TO THE COMMISSIONER FOR APPROVAL.	
CLASSIFIED AS CATEGORY "IIB" (TABLE 504.3 NYC BUILDING CODE 2022) CONVERTER FACILITY (INCLUDES CONVERTER AND SERVICE BUILDINGS) IS NOT REQUIRED TO MEET CODE REQUIREMENTS FOR FLOOR AREA REQUIREMENTS, DUE TO THIS BEING A BUILDING DESIGNED TO HOUSE SPECIAL INDUSTRIAL PROCESSES.	
TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE	
OCCUPANCY CLASSIFICATIONS. TYPE IIB CONSTRUCTION, PARTIALLY SPRINKLERED: NOT REQUIRED TO MEET REQUIREMENTS FOR BULDING HEIGHT FLOOR AREA REQUIREMENTS, DUE TO THIS BEING A BUILDING DESIGNED TO HOUSE SPECIAL INDUSTRIAL PROCESSES.	ALLOWABLE HEIGHT: UNLIMITED ALLOWABLE AREA: UNLIMITED

BUILDING CODES

BUILDING:	NEW YORK CITY BUILDING CODE, (NYCBC) 2022
ENERGY:	NEW YORK CITY ENERGY CONSERVATION CODE (NYCECC) 2020
FIRE:	NEW YORK CITY FIRE CODE, (NYCFC) 2014
MECHANICAL:	NEW YORK CITY MECHANICAL CODE (NYCMC) 2022
PLUMBING:	NEW YORK CITY PLUMBING CODE (NYCMC) 2022
ELECTRICAL:	NEW YORK CITY ELECTRICAL CODE (NYCEC) 2011
ACCESSIBILITY:	NEW YORK CITY BUILDING CODE (NYCBC) 2022, CHAPTER 11 ICC A117.1, 2009

OTHER STANDARDS AND REGULATIONS

ADA:	AMERICANS WITH DISABILITIES ACT (ADA)
OSHA:	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
NYC ZONING RESOLUTION:	
WITHIN FIRE DISTRICT PER 2022 NYCBC APPENDIX D, FIGURE D106.1 (2)	
NYCEC C402.5.7 EXCEPTION 2: DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL ROOMS, OR INTENDED SOLELY FOR EMPLOYEE USE.	
NFPA 850: RECOMMENDED PRACTICE FOR FIRE PROTECTION FOR ELECTRIC GENERATING PLANTS AND HIGH VOLTAGE DIRECT CURRENT CONVERTER STATIONS.	

USE GROUP CLASSIFICATION - CONVERTER & SERVICE BLDG.

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION
THE FOLLOWING USES AND OCCUPANCY GROUPS ARE LOCATED IN THIS SITE:
FACTORY AND INDUSTRIAL- GROUP F-1 (MODERATE HAZARD) ELECTRICAL GENERATION PLANT CONVERTER STATION (INCLUDES REACTOR HALL, VALVE HALL ROOMS 1 & 2, AND DC HALL AND SERVICE BUILDING)

FLOOR AREA CALCULATIONS - CONVERTER & SERVICE BUILDING

BUILDING/ROOM	AREA (GSF)
CONVERTER BLDG.	
REACTOR HALL A103	21,245 SF
VALVE HALL 1 A101	15,669 SF
VALVE HALL 2 A102	15,395 SF
DC HALL A104	23,302 SF
VENTILATION ROOM FOR DC A105	861 SF
TOTAL GSF:	76,472 SF
BUILDING/ROOM	AREA (GSF)
SERVICE BLDG.	
FIRST FLOOR	
MCC ROOM B116	424 SF
VALVE COOLING ROOM B115	1,455 SF
UMD BATTERY B114	182 SF
CLEANING ROOM B113	25 SF
RESTROOM B112	48 SF
BREAK ROOM B111	185 SF
LOCKER ROOM B110	118 SF
OPERATER ROOM B109	237 SF
ENTRANCE ROOM B108	372 SF
CONTROL & PROTECTION ROOM 1 B107	237 SF
CORRIDOR B106	85 SF
I/O ROOM B105	282 SF
CONTROL & PROTECTION ROOM 2 B104	614 SF
BATTERY ROOM B B103	281 SF
AUXILIARY ROOM B102	709 SF
BATTERY ROOM A B101	278 SF
SECOND FLOOR	
TELECOM ROOM B205	254 SF
STORAGE ROOM B204	289 SF
CORRIDOR B203	750 SF
CLIMATE ROOM 1 B202	3,999 SF
CLEAN AGENT ROOM B201	255 SF
TOTAL GSF:	11,079 SF

OCCUPANCY - CONVERTER & SERVICE BUILDING

DESIGN OCCUPANT LOAD PER TABLE 1004.1.3			
BUILDING/ROOM	MAX FLOOR AREA PER OCCUPANT	OCCUPANTS	
CONVERTER BLDG.			
REACTOR HALL A103	300 SF	71	
VALVE HALL 1 A101	300 SF	53	
VALVE HALL 2 A102	300 SF	52	
DC HALL A104	300 SF	78	
VENTILATION ROOM FOR DC A105	300 SF	3	
TOTAL OCCUPANTS		257	
BUILDING/ROOM	MAX FLOOR AREA PER OCCUPANT	POSTED PERMISSIBLE OCCUPANTS	
SERVICE BLDG.			
FIRST FLOOR			
MCC ROOM B116	300 SF	2	
VALVE COOLING ROOM B115	300 SF	5	
UMD BATTERY B114	300 SF	1	
CLEANING ROOM B113	N/A	0	
RESTROOM B112	N/A	0	
BREAK ROOM B111	15 NET	13	
LOCKER ROOM B110	50 SF	3	
OPERATER ROOM B109	100 SF	3	
ENTRANCE ROOM B108	300 SF	2	
CONTROL & PROTECTION RM 1 B107	300 SF	1	
CORRIDOR B106	300 SF	1	
I/O ROOM B105	300 SF	1	
CONTROL & PROTECTION RM 2 B104	300 SF	3	
BATTERY ROOM B B103	300 SF	1	
AUXILIARY ROOM B102	300 SF	3	
BATTERY ROOM A B101	300 SF	1	
SECOND FLOOR			
TELECOM RM B205	300 SF	1	
STORAGE ROOM B204	300 SF	1	
CORRIDOR B203	300 SF	3	
CLIMATE ROOM B202	300 SF	14	
CLEAN AGENT ROOM B201	300 SF	1	
TOTAL OCCUPANTS:		60	
TOTAL OCCUPANT LOAD (CONVERTER & SERVICE BUILDING):		317 PEOPLE	
TOTAL PROPOSED ACTUAL OCCUPANT LOAD:		30 PEOPLE	

CONSTRUCTION CLASSIFICATION & FIRE PROTECTION

CHAPTER 6: TYPES OF CONSTRUCTION	
TABLE 601. FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)	
TYPE IIB CONSTRUCTION (CONVERTER BUILDING)	
PRIMARY STRUCTURAL: WITH ROOF SUPPORTS FIRE-RESISTANCE RATINGS OF PRIMARY STRUCTURAL FRAME AND BEARING WALLS ARE PERMITTED TO BE REDUCED BY 1 HOUR WHERE SUPPORTING ROOF ONLY.	0 HR
BEARING WALLS, EXTERIOR WALLS, AND INTERIOR WALLS: WITH ROOF SUPPORTS FIRE-RESISTANCE RATINGS OF PRIMARY STRUCTURAL FRAME AND BEARING WALLS ARE PERMITTED TO BE REDUCED BY 1 HOUR WHERE SUPPORTING ROOF ONLY.	0 HR
NONBEARING WALLS AND PARTITIONS EXTERIOR:	SEE TABLE 602
NONBEARING WALLS AND PARTITIONS INTERIOR:	0 HR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0 HR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0 HR
TABLE 602. FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE	
FIRE SEPARATION DISTANCE < 5 FEET (TYPE IIB CONSTRUCTION) OCCUPANCY GROUP F-1:	2 HR
FIRE SEPARATION DISTANCE 5 < X <10 (TYPE IIB CONSTRUCTION) OCCUPANCY GROUP F-1:	1 HR
FIRE SEPARATION DISTANCE 10<X<30 (TYPE IIB CONSTRUCTION) OCCUPANCY GROUP F-1:	1 HR
FIRE SEPARATION DISTANCE X>30 (TYPE IIB CONSTRUCTION) OCCUPANCY GROUP F-1:	0 HR
CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES	
705.5 FIRE-RESISTANCE RATINGS EXTERIOR WALLS SHALL BE FIRE-RESISTIVE-RATED IN ACCORDANCE WITH TABLES 601 AND 602 AND APPENDIX D WHERE APPLICABLE. THE REQUIRED FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF GREATER THAN 10 FEET SHALL BE RATED FOR EXPOSURE TO FIRE FROM THE INSIDE. THE REQUIRED FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION OF LESS THAN OR EQUAL TO 10 FEET SHALL BE RATED FOR EXPOSURE TO FIRE FROM BOTH SIDES.	

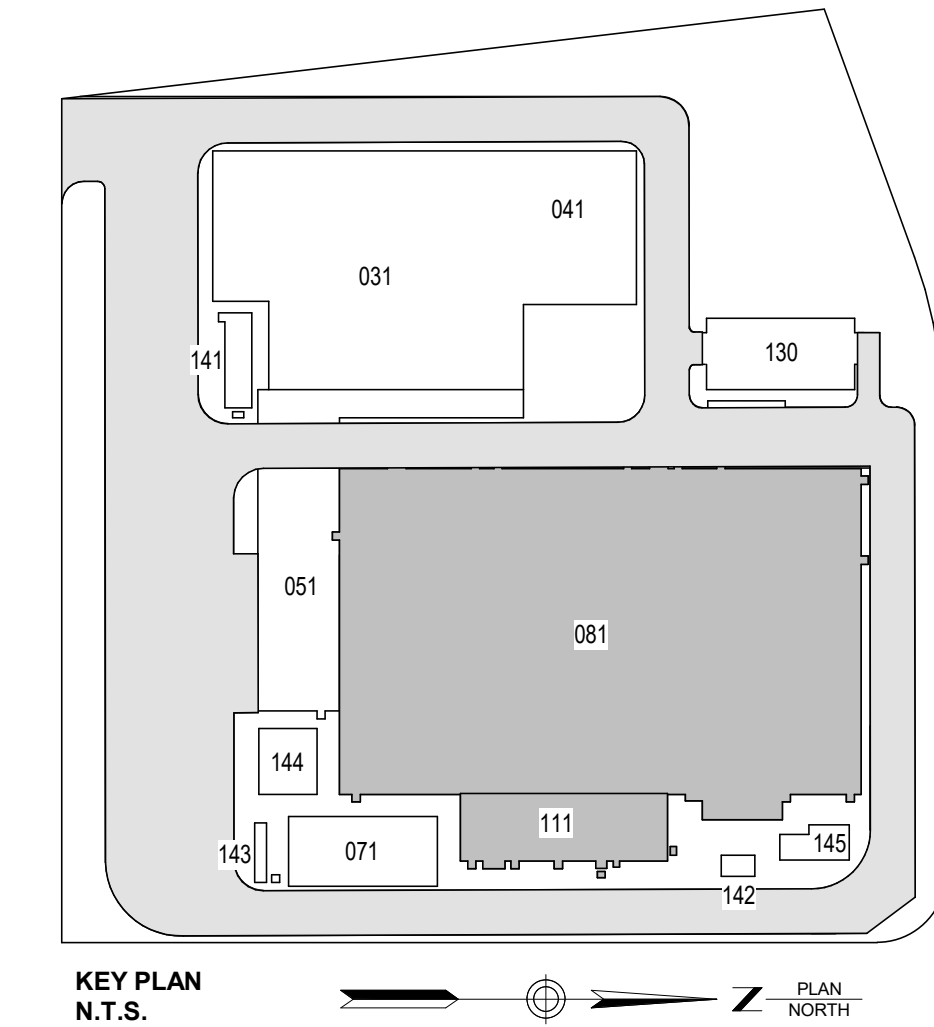
INTERIOR FINISHES

CHAPTER 8 - INTERIOR FINISHES						
803.1.1 INTERIOR WALL AND CEILING FINISH MATERIALS. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE TESTED AND CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES.						
CLASS A = FLAME SPREAD INDEX 0-25; SMOKE DEVELOPED INDEX 0-450.						
CLASS B = FLAME SPREAD INDEX 26-75; SMOKE DEVELOPED INDEX 0-450.						
CLASS C = FLAME SPREAD INDEX 76-200; SMOKE DEVELOPED INDEX 0-450.						
EXCEPTION: MATERIALS TESTED IN ACCORDANCE WITH SECTION 803.1.2 NOT TO BE CLASSIFIED IN ACCORDANCE WITH SECTION 803.1.1.						
TABLE 803.11 INTERIOR WALL AND CEIING FINISH REQUIREMENTS BY OCCUPANCY						
GROUP	SPRINKLERED			NONSPRINKLERED		
	INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS	ROOM AND ENCLOSED SPACES	INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS	ROOM AND ENCLOSED SPACES
F	B	C	C	A	A	B

STRUCTURAL DESIGN CHAPTER 16

CHAPTER 16: OCCUPANCY/RISK CLASSIFICATION CLASSIFIED AS CATEGORY "IV" (TABLE 1604.5 NYC BUILDING CODE 2022)
1604.5.2. IMPORTANCE FACTOR
1613.3.5 - SEISMIC DESIGN CATEGORY
DESIGN CRITERIA
CODE: ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE, 2022.
ITEMS UNDER SEPARATE APPLICATION:
• PILE PLAN FOR CONVERTER BUILDING
• PILE PLAN FOR SERVICE BUILDING
• EARTH WORK / SITE PAVEMENT PLAN
• RETAINING WALL

ISSUED FOR PERMIT



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A	INTERIM SUBMISSION		RAC	ZH	09/13/2022
REV	DESCRIPTION	DRW BY	CHK BY	DATE	

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Hitachi Energy
901 Main Campus Drive
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PROJECT

CHPE
Champlain Hudson
Power Express

Astoria HVDC
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Block #850 - Lot #310 - BIN #4624437

CONVERTER & SERVICE
BLDG. - ZONING

DATE	12/12/22
PROJECT NO	105121
DRAWING BY	R. COLES
CHECKED BY	Z. HARR
DRAWING NO	Z-001.00
CADD FILE NO	Astoria-HVDC-CHPE Astoria-CHA-KIE-111-ZZ-M3-A-001.rvt

EGRESS - CONVERTER & SERVICE BUILDING

CONVERTER BUILDING - FIRST FLOOR						
FL.	ROOM	AREA (SF)	OCCUP.	EGRESS REQUIRED		
				STAIR (0.3" PP)	OTHER (0.2" PER PERSON)	
1ST	POSITIVE VALVE HALL	21,245	71	N/A	15" REQUIRED CLEAR WIDTH EXIT DOORS	
1ST	NEGATIVE VALVE HALL	15,669	53	N/A	11" REQUIRED CLEAR WIDTH EXIT DOORS	
1ST	VALVE RM 2 HALL	15,395	52	N/A	11" REQUIRED CLEAR WIDTH EXIT DOORS	
1ST	DC HALL	23,302	78	N/A	16" REQUIRED CLEAR WIDTH EXIT DOORS	
1ST	HVAC ROOM	861	3	N/A	1" REQUIRED CLEAR WIDTH EXIT DOORS	
SERVICE BUILDING - FIRST FLOOR						
ROOM	AREA (SF)	OCCUP.	EGRESS REQUIRED			
			STAIR (0.3" PP)	OTHER (0.2" PER PERSON)		
MCC ROOM B116	424 SF	2	N/A	1" REQ'D CLEAR EXIT DOORS		
VALVE COOLING ROOM B115	1,455 SF	5	N/A	1" REQ'D CLEAR EXIT DOORS		
UMD BATTERY B114	182 SF	1	N/A	12" REQ'D CLEAR EXIT DOORS		
CLEANING ROOM B113	25 SF	N/A	N/A	N/A		
RESTROOM B112	48 SF	N/A	N/A	N/A		
BREAK ROOM B111	185 SF	13	N/A	3" REQ'D CLEAR EXIT DOORS		
LOCKER ROOM B110	118 SF	3	N/A	1" REQ'D CLEAR EXIT DOORS		
OPERATER ROOM B109	237 SF	3	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
ENTRANCE ROOM B108	372 SF	2	N/A	1" REQ'D CLEAR EXIT DOORS		
CNTL & PROTECTION RM 1 B107	237 SF	1	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
CORRIDOR B106	85 SF	1	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
I/O ROOM B105	282 SF	1	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
CNTL & PROTECTION RM 2 B104	614 SF	3	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
BATTERY ROOM B B103	281 SF	1	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
AUXILIARY ROOM B102	709 SF	3	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
BATTERY ROOM A B101	278 SF	1	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
SERVICE BUILDING - SECOND FLOOR						
ROOM	AREA (SF)	OCCUP.	EGRESS REQUIRED			
			STAIR (0.3" PP)	OTHER (0.2" PER PERSON)		
TELECOM RM B205	254 SF	1	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
STORAGE ROOM B204	289 SF	1	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
CORRIDOR B203	750 SF	3	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
CLIMATE ROOM B202	3,999 SF	14	4" REQ'D CLEAR	3" REQ'D CLEAR EXIST DOORS		
CLEAN AGENT ROOM B201	255 SF	2	1" REQ'D CLEAR	1" REQ'D CLEAR EXIT DOORS		
FOR SI: 1 FOOT = 304.8 MM. NP = NOT PERMITTED a. BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2. SEE SECTION 903 FOR OCCUPANCES WHERE AUTOMATIC SPRINKLER SYSTEMS ARE PERMITTED IN ACCORDANCE WITH SECTION 903.3.1.2.						

PLUMBING - CONVERTER BUILDING & SERVICE BUILDING
TABLE 403.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

CLASSIFICATION	OCCUP.	DESCRIPTION	W.C.	LAV.	SHOWERS	DRINKING FOUNTAIN	OTHER
FACTORY AND INDUSTRIAL	F-1	STRUCTURES IN WHICH OCCUPANTS ARE ENGAGED IN WORK FABRICATING, ASSEMBLY OR PROCESSING OF PRODUCT OR MATERIALS	1 PER 100	1 PER 100	SEE SECTION 411	1 PER 400	1 SERVICE SINK
CONVERTER BLDG & SERVICE BUILDING - PLUMBING FIXTURES PROVIDED (TOTAL ACTUAL EMPLOYEES: 10 MAXIMUM DURING PERIODIC MAINTENANCE PERIODS)			W.C.	LAV.	SHOWERS	DRINKING FOUNTAIN	OTHER
			1	1	0	1	1 SERVICE SINK
NYCPC 2022 403.2 SEPARATE FACILITIES: WHERE PLUMBING FIXTURES ARE REQUIRED SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX. EXCEPTION 3: IN STRUCTURES OR TENANT SPACES WHERE REQUIRED TOILET FACILITIES FOR ONLY EMPLOYEE USE ARE PROVIDED IN ACCORDANCE WITH SECTION 403.3, SEPARATE FACILITIES SHALL NOT BE REQUIRED WHERE THE TOTAL NUMBER OF EMPLOYEES IS 30 OR FEWER. SECTION 411 411.1 APPROVAL: EMERGENCY SHOWERS AND EYEWASH STATIONS SHALL CONFORM TO ISEA Z358.1. 411.2 WASTE CONNECTION. WASTE CONNECTIONS SHALL NOT BE REQUIRED FOR EMERGENCY SHOWERS AND EYEWASH STATIONS. NYCBC 2022 403.1 MINIMUM NUMBER OF FIXTURES: PLUMBING FIXTURES SHALL BE PROVIDED FOR THE TYPE OF OCCUPANCY AND IN THE MINIMUM NUMBER SHOWN ON TABLE 403.1. TYPES OF OCCUPANCIES NOT SHOWN IN TABLE 403.1 SHALL BE CONSIDERED INDIVIDUALLY BY THE COMMISSIONER. 1004.1.3.1 MODIFICATIONS: WHERE THE ACTUAL NUMBER OF OCCUPANTS OF ANY SPACE WILL BE SIGNIFICANTLY LOWER LISTED ON TALBE 1004.1.3, THE COMMISSIONER MAY ESTABLISH A LOWER BASIS FOR THE DETERMINATION OF THE NUMBER OF OCCUPANTS. 1004.1.3.2 UNLISTED FUNCTIONS: WHERE DATA REGARDING THE SQUARE FOOT AREA PER PERSON FOR A FUNCTION IS NOT LISTED IN TABLE 1004.1.3, THE OCCUPANT LOAD SHALL BE ESTABLISHED BY A REGISTERED DESIGN PROFESSIONAL, SUBJECT TO THE APPROVAL FO THE COMMISSIONER.							

INSULATION REQUIREMENTS

NYCEC, 2022C TABLE C402.1.3 & TABLE C402.4 "CLASSIFIED AS CLIMATE ZONE "4 EXCEPT MARINE", "ALL OTHER":	MINIMUM REQUIRED	PROVIDED
INSULATION ENTIRELY ABOVE ROOF DECK:	R-33CI	
WALLS, METAL FRAMED - ABOVE GRADE:	R-13 + R-8.5 CI	
WALLS, BELOW GRADE WALL - BELOW GRADE:	R-7.5 CI	R-25.27
UNHEATED SLABS - SLAB-ON-GRADE FLOORS:	R-15 FOR 24" BELOW	
NONSWINGING - OPAQUE DOORS:	R-4.75	
OPAQUE SWINGING DOORS:		
ENTRANCE DOORS:	U-0.77	

ALLOWABLE TRAVEL DISTANCES

SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY, TABLE 1006.2.1					
OCCUPANCY	MAXIMUM OCCUPANT LOAD OF SPACE	MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET)			
		WITHOUT SPRINKLER SYSTEM (FEET)		WITH SPRINKLER SYSTEM (FEET)	
		OL<30	OL>30		
F	49	75	75	100 a	
S	29	100	75	100 a	
FOR SI: 1 FOOT = 304.8 MM. NP = NOT PERMITTED a. BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2. SEE SECTION 903 FOR OCCUPANCES WHERE AUTOMATIC SPRINKLER SYSTEMS ARE PERMITTED IN ACCORDANCE WITH SECTION 903.3.1.2.					
EXIT ACCESS TRAVEL DISTANCE, TABLE 1017.2					
OCCUPANCY		WITHOUT SPRINKLER SYSTEM		WITH SPRINKLER SYSTEM	
F-1		150		200 b	
S-2		200		250 C	

FLOOR AREA RATIO CALCULATIONS

GROSS FLOOR AREA:	87,551 SF
LOT AREA:	341,093 SF
FLOOR AREA RATIO:	87,551 / 341,093 = 0.26

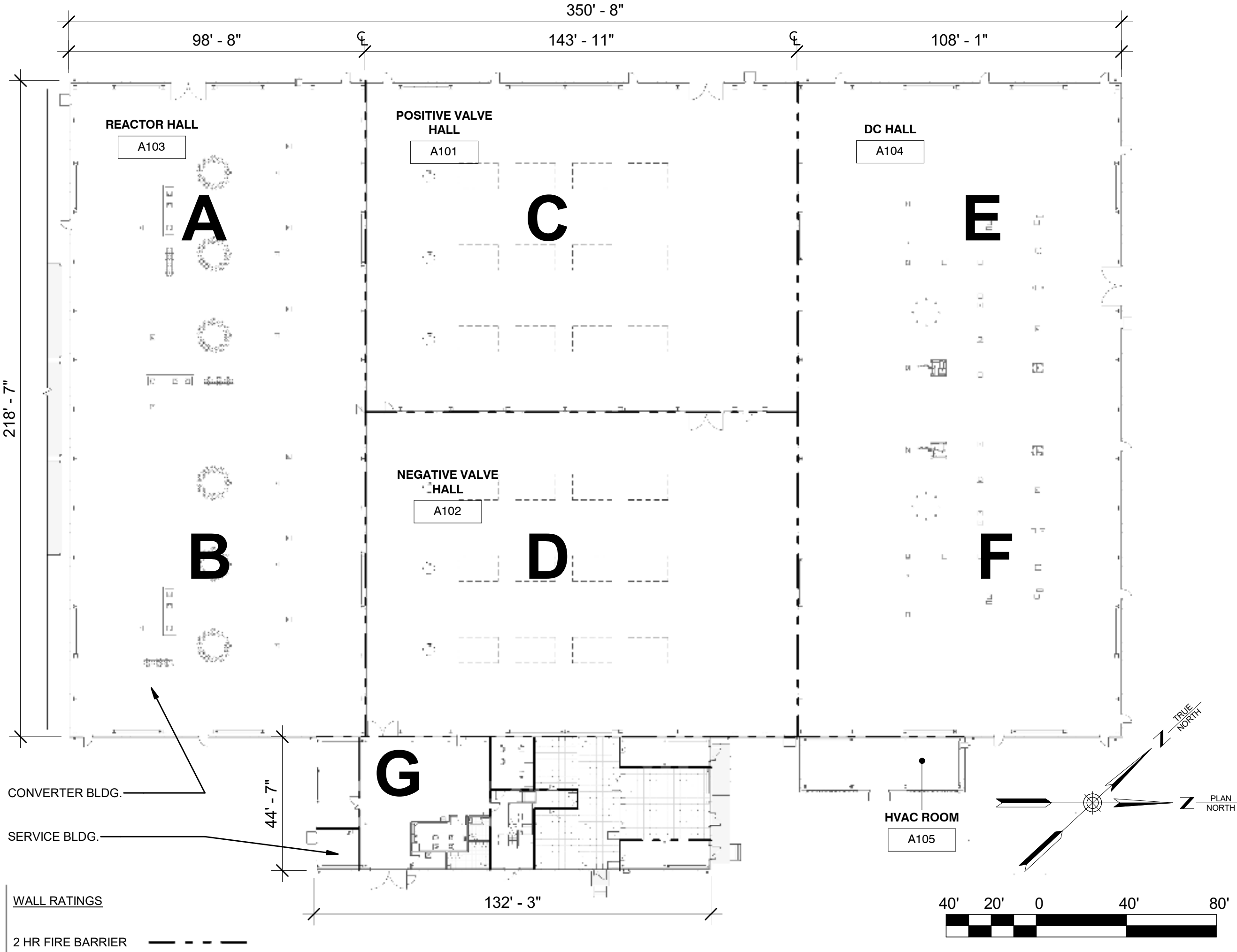
EGRESS CAPACITY

1005.3.1 STAIRWAYS. THE CAPACITY, IN INCHES, OF MEANS OF EGRESS STAIRWAYS SHLL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH STAIRWAYS BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.3 INCH PER OCCUPANT.	
1005.3.2 OTHER EGRESS COMPONENTS THE CAPCITY, IN INCHES, OF MEANS OF EGRESS COMPONENTETS OTHER THAN STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH COMPONENT BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.2 INCH PER OCCUPANT.	
SINGLE LEAF DOOR TYPICAL UNLESS NOTED OTHERWISE	
EGRESS CAPACITY 3'-0" DOOR = 32" BETWEEN FACE OF DOOR AND THE STOP	32" / 2 = 160 PEOPLE
DOUBLE LEAF DOOR TYPICAL UNLESS NOTED OTHERWISE	
EGRESS CAPACITY 6'-0" DOOR = 68" BETWEEN FACE OF DOOR AND THE STOP	68" / 2 = 340 PEOPLE

GROSS FLOOR AREA			
FIRST FLOOR AREA	=	(350'-8") X (218'-7") + (132'-3") X (44'-7") + (18'-2") X (55'-4")	= 83,551.26 SQ. FT.
SECOND FLOOR AREA	=	(132'-3") X (44'-7")	= 5,896.14 SQ. FT.
TOTAL FLOOR AREA	=	83,551.26 SQ. FT. + 5,896.14 SQ. FT.	= 89,447.40

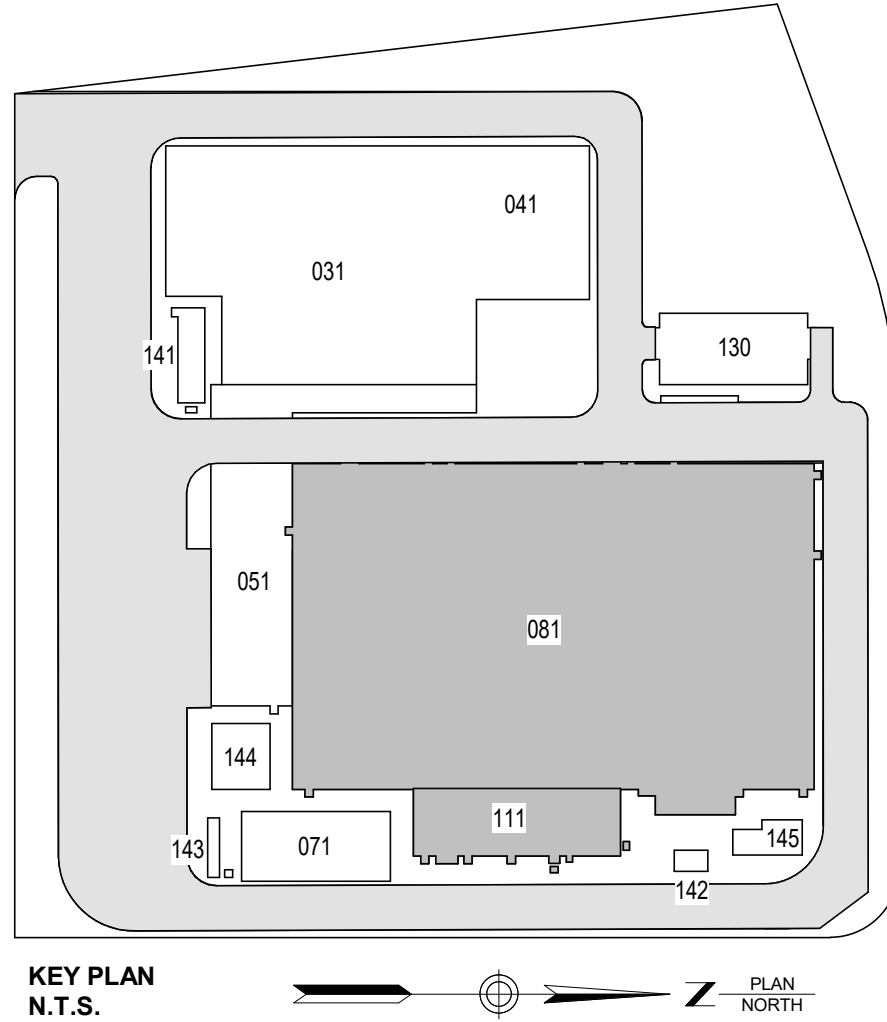
BUILDING DEPARTMENT NOTES

1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE 2022.
2. ALL REFERENCES TO THE BUILDING CODE AND BUILDING DEPARTMENT SHALL BE CONSTRUED TO MEAN THE RULES AND REGULATIONS OF THE BUILDING DEPARTMENT FOR THE CITY OF NEW YORK.
3. THE CONTRACTOR SHALL TAKE ALL THE NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND SURROUNDING PROPERTY PER CHAPTER 33.
4. THE SAFETY OF PERSONS EMPLOYED IN CONSTRUCTION OPERATIONS. THIS INCLUDES BUT IS NOT LIMITED TO THE PROVISIONS FOR SAFETY BARRICADES AT ALL OPENINGS, EXISTING, NEW, OR TEMPORARY.
5. BUILDING DEPARTMENT AND PAY ALL FEES REQUIRED BY CITY AGENCIES.
6. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION, AND SERVICE EQUIPMENT SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED TEST METHODS BY THE NEW YORK CITY BUILDING CODE.
7. PARTITIONS AND FURRING SHALL COMPLY WITH SECTION 2210 AND CHAPTER 25 OF THE NEW YORK CITY BUILDING CODE.
8. INTERIOR FINISHES AND SUSPENDED CEILINGS SHALL COMPLY WITH CHAPTER 8 OF THE NEW YORK CITY BUILDING CODE.
9. ALL PROPOSED WORK SHALL COMPLY WITH APPENDIX F FOR RODENT PROOFING. ALL OPENINGS INCLUDING BUT NOT LIMITED TO ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AND CONDUITS, SHALL BE PROTECTED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, METAL PLATES, OR SCREENING DESIGNED TO PREVENT THE PASSAGE OF RODENTS. OPENINGS FOR DOORS, WINDOWS, AND VENTS SHALL BE AS PROVIDED FOR IN SECTIONS F102.3, F102.4, F102.5 RESPECTIVELY.
10. FIRE TREATED WOOD SHALL COMPLY WITH SECTION 2303.2 OF THE NEW YORK CITY BUILDING CODE.
11. MECHANICAL APPLIANCES, EQUIPMENT AND SYSTEMS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NEW YORK CITY MECHANICAL CODE. ALL INTERIOR ROOMS TO MECHANICALLY VENTILATE PER THE NEW YORK CITY MECHANICAL CODE.
12. LIGHTING AND POWER INSTALLATION SHALL CONFORM TO THE NEW YORK CITY ELECTRICAL CODE AND ANY PERTINENT REGULATIONS OF THE NEW YORK CITY DEPARTMENT OF WATER SUPPLY, ENVIRONMENTAL PROTECTION, GAS, AND ELECTRICAL SUPPLY.
13. FIRE DIVISIONS SHALL BE CONTINUOUS THOROUGH CONCEALED SPACES IN FLOOR AND ROOF CONSTRUCTION PER CHAPTER 7. OPENINGS IN AND PENETRATIONS THROUGH FIRE SEPARATIONS/DIVISIONS SHALL COMPLY WITH SECTION 712.
14. OPENING PROTECTIVES INCLUDING FRAMES, CLOSURES, AND HARDWARE SHALL COMPLY WITH SECTION 715. ALL OPENINGS PROTECTIVES SHALL BE LABELED BY AN APPROVED TESTING AGENCY.
15. CONDUIT IN FIRE RATED PARTITIONS IS NOT TO EXCEED 3/4" DIAMETER. OPENINGS IN WALLS, PARTITIONS, OR FLOORS FOR PIPE SLEEVES, ELECTRICAL DEVICES, ETC. SHALL BE PACKED, SEALED OR LINED AS REQUIRED IN ORDER TO MAINTAIN THE REQUIRED FIRE AND UL RATINGS.
16. DUCTS, PIPES AND CONDUITS PASSING THORUGH RATED CONSTRUCTION SHALL HAVE SPACES NOT EXCEEDING 1/2" PACKED WITH MINERAL WOOL AND SHALL BE CLOSED OFF WITH CLOSE FITTING METAL ESCHUTHEONS OR PLATES. THE AGGREGATE AREA OF SUCH PENETRATIONS IS NOT TO EXCEED 25 SQUARE INCHES IN ANY 100 SQUARE FEET OF WALL OR FLOOR AREA UNLESS PROVIDED WITH AN OPENING PROTECTIONDEVICE.
17. PER SECTION 1205.3 AVERAGE ILLUMINATION OF AT LEAST 10 FOOT CANDLES MEASURED 30" ABOVE THE FLOOR SHALL BE MAINTAINED CONTINUOUSLY DURING OCCUPANCY IN ALL ROOMS AND SPACES. PER 1006.1 MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 2 FOOT-CANDLES AT THE FLOOR LEVEL. EXIT LIGHTING SHALL BE FROM CIRCUITS THAT ARE SEPARATE FROM OTHER CIRCUITS TAKEN AHEAD OF THE MAIN SWITCH.
18. EXIT DOORS SHALL BE READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES FROM THE SIDE WHICH EGRESS IS MADE.
19. ALL PROPOSED WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF ICC A117.1 AND CHAPTER 11 OF THE NEW YORK CITY BUILDING CODE FOR ACCESSIBILITY.
20. ALL PROPOSED WORK SHALL COMPLY WITH APPLICABLE PROVISIONS OF NEW YORK CITY ENERGY CONSERVATION CODE. SEE EN-100 FOR EXTERIOR ENVELOPE COMPLIANCE REQUIREMENTS AND EN-101 FOR MECHANICAL AND LIGHTING COMPLIANCE REQUIREMENTS.
21. CONTRACTOR TO COMPLETE ALL SPECIAL AND PROGRESS INSPECTIONS AS WELL AS ENERGY CODE COMPLIANCE INSPECTIONS PER FORMS TR-1 AND TR-8 AND AS LISTED ON THE COVER SHEET. PROGRESS INSPECTION REFERENCE STANDARDS AND CITATIONS SHALL CONFORM TO THE REQUIREMENTS OF 2010 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE. CHAPTER 5 AS REFLECTED IN THE ENERGY CODE COMPLIANCE CERTIFICATES ON EN-100.00 AND EN-101.00.
22. IN ACCORDANCE WITH ARTICLE 116 OF TITLE 28 AND SECTION 109, CONSTRUCTION SHALL BE SCHEDULED TO ALLOW REQUIRED PROGRESS INSPECTIONS TO TAKE PLACE. ROOFS, CEILINGS, EXTERIOR WALLS, INTERIOR WALLS, FLOORS, FOUNDATIONS, BASEMENTS, AND ANY OTHER CONSTRUCTION SHALL NOT BE COVERED OR ENCLOSED UNTIL REQUIRED PROGRESS INSPECTIONS ARE COMPLETED OR THE PROGRESS INSPECTOR INDICATES THAT SUCH COVERING OR ENCLOSURE MAY PROCEED, AT EACH STAGE OF CONSTRUCTION, AS APPLICABLE.
23. IN ACCORDANCE WITH SECTIONS 109.9 AND ECC 104.2.3 WHERE AN INSPECTION OR TEST FAILS, THE CONSTRUCTION SHALL BE CORRECTED AND MUST BE MADE AVAILABLE FOR REINSPECTION AND/OR RETESTING BY THE PROGRESS INSPECTOR UNTIL IT COMPLIES.
24. THE CONTRACTOR SHALL PROVIDE NOTIFICATION TO DOB 24-48 HOURS PRIOR TO COMMENCEMENT OF EARTHWORK AS PER BC 3304.3.1



2 OVERALL CONVERTER AND SERVICE BUILDING FLOOR PLAN
A-212.00 1" = 30'-0"

ISSUED FOR PERMIT



Engineering and
Land Surveying, P.C.

370 7th Avenue
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SOWINSKI
SULLIVAN

25 Mohawk Avenue
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B	FINAL SUBMISSION	RAC	ZH	12/12/2022
A	INTERIM SUBMISSION	RAC	ZH	09/13/2022
REV	DESCRIPTION	DRW BY	CHK BY	DATE

Kiewit

470 Chestnut Ridge Rd # 2,
Woodcliff Lake, NJ 07677

Hitachi Energy

901 Main Campus Drive
Raleigh, North Carolina 27606

PROJECT

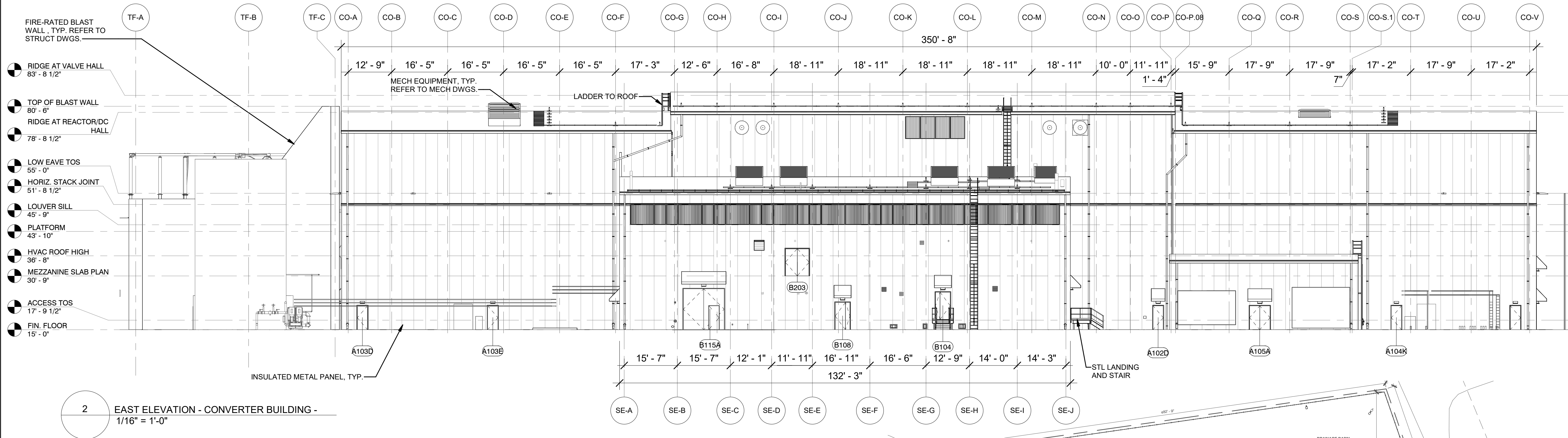
CHPE
Champlain Hudson
Power Express

Astoria HVDC
Converter Station

31-45 20th Avenue, Astoria, Queens NY 11105
Block #850 - Lot #310 - BIN #4624437

CONVERTER & SERVICE
BLDG. - ZONING

DATE 12/12/22
PROJECT NO 105121
DRAWING BY R. COLES
CHECKED BY Z. HARR
DRAWING NO
Z-002.00
CADD FILE NO
Astoria-HVDC-CHPE
Astoria-CHV-KE-111-ZZ-M3-A-001.rvt



42-10 USE PERMITTED AS OF RIGHT

DESCRIPTION	EXISTING USE GROUP	PROPOSED USE GROUP	COMPLIES
ELECTRIC POWER PLANT	N/A	18B	YES

PERFORMANCE STANDARD OF M3 DISTRICTS TO BE COMPLIED WITH IN ALL RESPECTS.

THE PROPOSED DEVELOPMENT IS LOCATED WITHIN A WATERFRONT BLOCK AREA.

SEC: 62-30 SPECIAL BULK REGULATIONS

SEC: 62-32 MAXIMUM FLOOR AREA RATIO AND LOT COVERAGE ON WATERFRONT BLOCKS

SEC: 62-326 BUILDINGS IN MANUFACTURING DISTRICTS

IN MANUFACTURING DISTRICT FOR ANY BUILDING ON ZONING LOT ON A WATERFRONT BLOCK, THE MAX. F.A.R. SHALL BE IN ACCORDANCE WITH THE APPLICABLE DISTRIC REGULATIONS.

SEC: 62-41 REQUIREMENTS FOR WATERFRONT PUBLIC ACCESS

SEC: 62-42 REQUIREMENTS FOR VISUAL CORRIDORS

NOTE: SECTIONS 62-41 & 62-42 PROVIDE EXEMPTIONS FOR COMPLIANCE FOR DEVELOPMENTS IN MANUFACTURING DISTRICTS COMPRISED PREDOMINANTLY OF USES IN GROUPS 16, 17, OR 18.

43-12 MAX FLOOR AREA RATIO

DISTRICT	MAX. F.A.R.	EXISTING F.A.R.	PROPOSED F.A.R.	COMPLIES
M3	2.0	N/A	0.26	YES

SEC: 62-33 SPECIAL YARD REGULATION ON WATERFRONT BLOCKS

YARD REGULATION FOR ZONING LOTS SHALL BE GOVERNED BY THE PROVISIONS IN THE SECTION. FOR DEVELOPMENTS CONTAINING WD USED OR, IN C8 OR MANUFACTURING DISTRICTS, DEVELOPMENTS COMPRISED PREDOMINANTLY OF USES IN USE GROUPS 16,17, OR 18, OR FOR DEVELOPMENTS ON ZONING LOTS THAT ARE NOT WATERFRONT ZONING LTOS, YARDS SHALL BE PROVIDED IN ACCORDANCE WITH THE APPLICABLE DISTRICT REGULATIONS.

43-20 YARD REGULATIONS

SECTION	YARD	MIN. REQ.	PROPOSED	COMPLIES
43-26	EAST SIDE	0 FT OR 8 FT IF PROVIDED	61 FEET	YES
	WEST SIDE	0 FT OR 8 FT IF PROVIDED	166 FEET	YES
43-26	REAR	20 FT.	250 FEET	YES

SEC: 62-34 HEIGHT & SET BACK REGULATIONS ON WATERFRONT BLOCKS

HEIGHT AND SETBACK REGULATIONS FOR ZONING LOTS WITHIN WATERFRONT BLOCKS SHALL BE GOVERNED BY THE PROVISIONS OF THIS SECTION. HOWEVER, AIRPORTS, HELIPORTS, SEAPLANE BASES AND, IN C8 OR MANUFACTURING DISTRICTS, DEVELOPMENTS COMPRISED PREDOMINANTLY OF WD (WATER DEPENDENT) USES OR USES IN USE GROUP 16, 17, OR 18 SHALL BE EXEMPT FROM THE REQUIREMENTS OF THIS SECTION.

43-40 HEIGHT AND SET BACK REGULATIONS

INITIAL SETBACK	MIN.	PROPOSED	COMPLIES
NARROW STREET	20 FEET	N/A PROPOSED BUILDING IS BEYOND THE INITIAL SET BACK	YES
WIDE SIDE	15 FEET	N/A PROPOSED BUILDING IS BEYOND THE INITIAL SET BACK	YES
HEIGHT OF FRONT WALL WITHIN INITIAL SET BACK	60 FEET OR 4 STORIES, WHICHEVER IS LESS	BUILDING IS 69 FEET TO TALLEST POINT, BUT ONLY 2 STORIES TOTAL	YES
SKY EXPOSURE PLANE (HEIGHT ABOVE STREET LINE)	60 FEET	SEE SKY EXPOSURE PLANE DIAGRAM	YES
NARROW STREET	2.7 TO 1	SEE SKY EXPOSURE PLANE DIAGRAM	YES
WIDE STREET	5.6 TO 1	SEE SKY EXPOSURE PLANE DIAGRAM	N/A

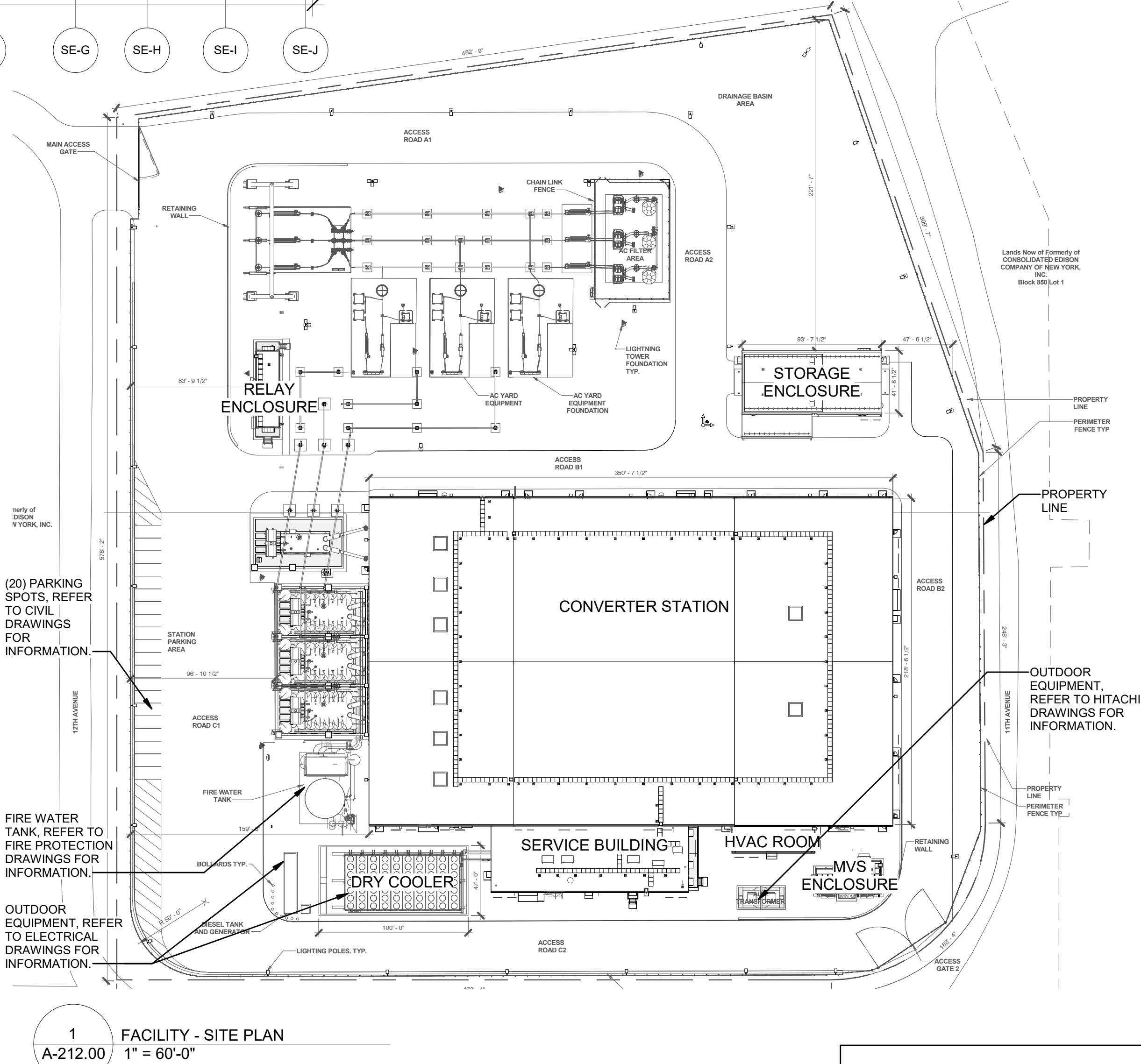
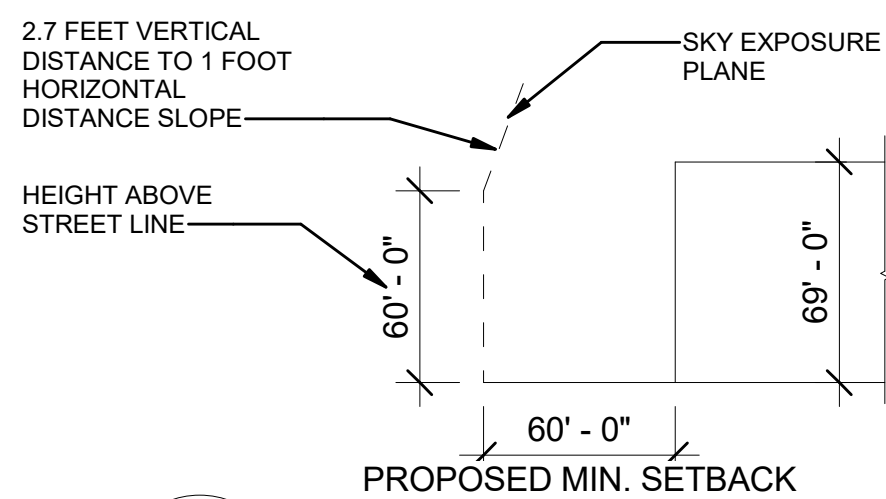
43-20 REQUIRED ACCESSORY OFF-STREET PARKING SPACES FOR MANUFACTURING, COMMERCIAL OR COMMUNITY FACILITIES

TYPE OF USE	PARKING SPACES REQUIRED	DISTRICTS	COMPLIES
STORAGE OR MISCELLANEOUS USES. USES IN: B) USE GROUP 17A, 17D, 18B, OR 18C	1 PER 2,000 S.F. OF FLOOR AREA, OR 1 PER 3 EMPLOYEES, WHICHEVER WILL REQUIRE A LESSER NUMBER OF SPACES	M1-1, M1-2, M2-1, M2-2, M3-1	YES - MAX. ACTUAL EMPLOYEE COUNT IS ANTICIPATED TO BE 6 EMPLOYEES, 3 SHIFTS PER DAY. DURING PLANNED OUTAGES, A MAX. OF 26 EMPLOYEES IS EXPECTED. (20) PARKING SPOTS ARE PROPOSED. BASED ON THIS TABLE, ONLY 9 PARKING SPOTS ARE REQUIRED.

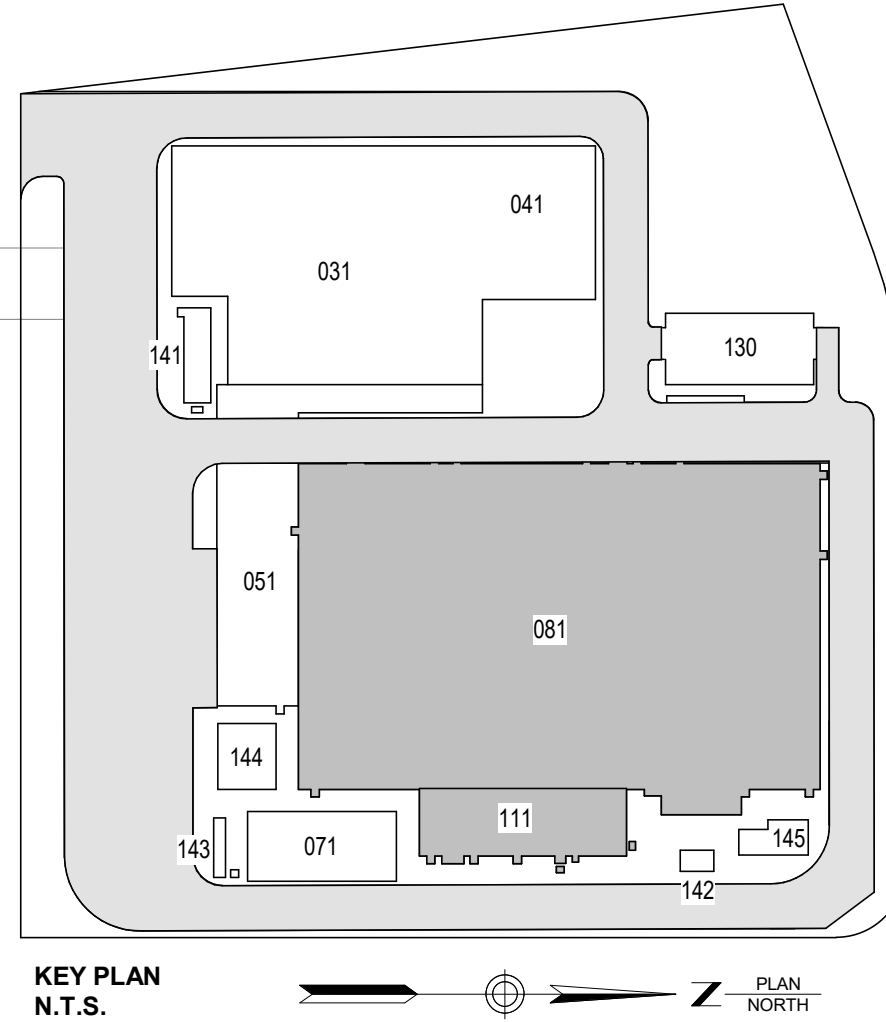
44-231 EXCEPTIONS TO APPLICATION OF WAIVER PROVISIONS

M1, M2, M3
IN ALL DISTRICTS, AS INDICATED, THE WAIVER PROVISIONS OF SECTION 44-23 SHALL NOT APPLY TO THE FOLLOWING TYPES OF USES:

(B) STORAGE OR MISCELLANEOUS USES IN USE GROUP 17A, 17C, 17D, 18B, OR 18C, OR IN PARKING REQUIREMENT CATEGORY G IN USE GROUP 18.



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Land Surveying, P.C.

370 7th Avenue
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New York, NY 10001

SOWINSKI
SULLIVAN

25 Mohawk Avenue
Sparta, NJ 07871

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Z-003.00
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Astoria CHA-KE-111-ZZ-M3-A-001.rvt